

Split Level

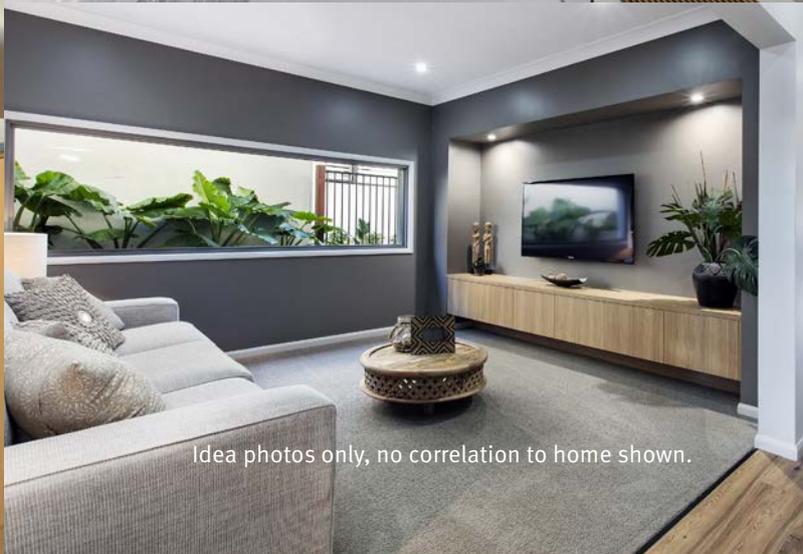
Carseldine 270 Urban Facade

Images may depict landscaping, fences and upgraded fixtures, features or finishes which are not included in the prices stated. For availability and pricing of these items please discuss with your new home consultant.

Are you looking for a home in harmony to situate on your sloping block, with the needs of today yet flexible enough to still be perfect in years to come?

The Split Level design ranges, exclusive to G.J. Gardner Homes, feature a superb blend of modern architectural interiors and quality fittings and inclusions.

The Split Level designs offer individually crafted facades that will inspire you by providing a choice of homes that reflect your personal lifestyle and preferences.



Idea photos only, no correlation to home shown.

**Allow yourself to
imagine the lifestyle
you've always
wanted, in the home
you deserve!**

BEACH



CLASSIC



RESORT



Regatta 183

Is your block sloping from one side to another? Enter the Regatta designs, with 3 sizes available there is sure to be a perfect design for your lifestyle.

The flowing and spacious living areas provide space that is perfect for a busy family. All sizes feature a rumpus room and a study, creating extra spaces for the children or additional quiet zones for the adults.

Regatta design also available in 190 and 234 floorplan sizes. Facades pictured relate to the Regatta 183 floorplan.

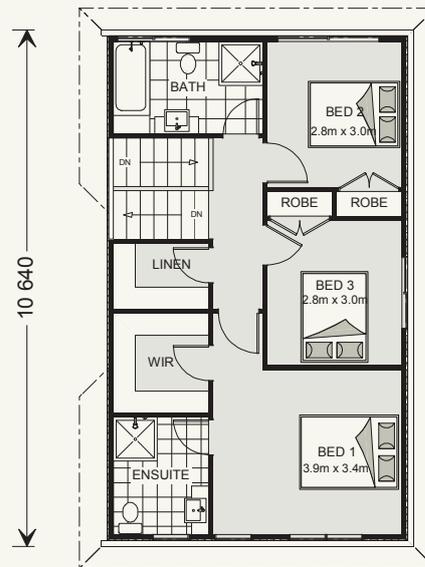
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Regatta 183

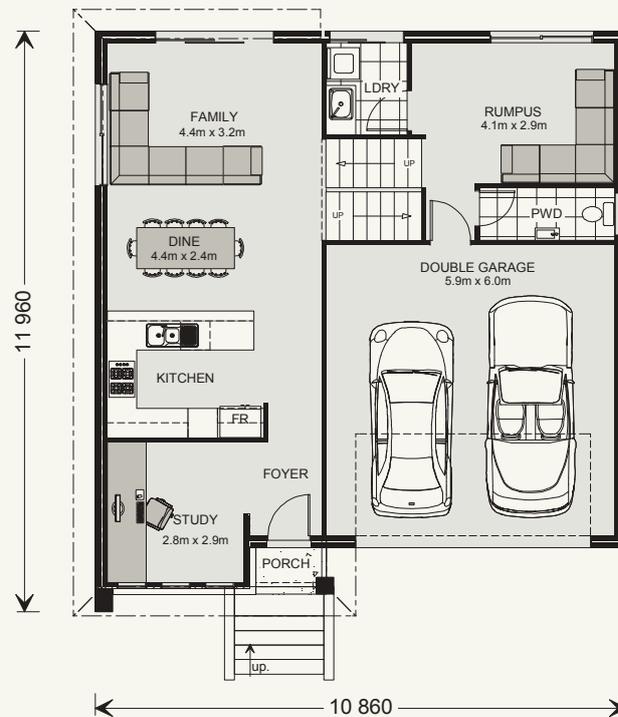
3 2.5 2

FEATURES

- + 3 bedrooms
- + Ensuite to master bedroom
- + Kitchen
- + Family room
- + Dining room
- + Rumpus room
- + Study
- + Powder room
- + Double garage



UPPER FLOOR



GROUND FLOOR

SPECIFICATIONS

GF Living:	80.4 sqm	8.64 sq
UF Living:	62.9 sqm	6.76 sq
Garage:	38.3 sqm	4.11 sq
Porch:	1.4 sqm	0.15 sq
GF Total:	120.1 sqm	12.91 sq
UF Total:	62.9 sqm	6.76 sq
Total:	183.0 sqm	16.68 sq

TOTAL AREA

Width:	10.86 m
Length:	11.96 m

Regatta 183 Classic facade floor plan

NOTES

RESORT



BEACH



CLASSIC

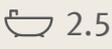


Legana 201

The Legana is a home perfect for a block sloping away from the road. The ground floor is great for entertaining, while the open plan living area creates a flow throughout the homes 4 bedrooms and generous living space. The attached alfresco acts as an additional room, bringing the outdoors closer.

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Legana 201

 4
  2.5
  2

FEATURES

- + 4 bedrooms
- + Ensuite & walk in robe to master bedroom
- + Kitchen
- + Walk in pantry
- + Family room
- + Dining room
- + Double garage

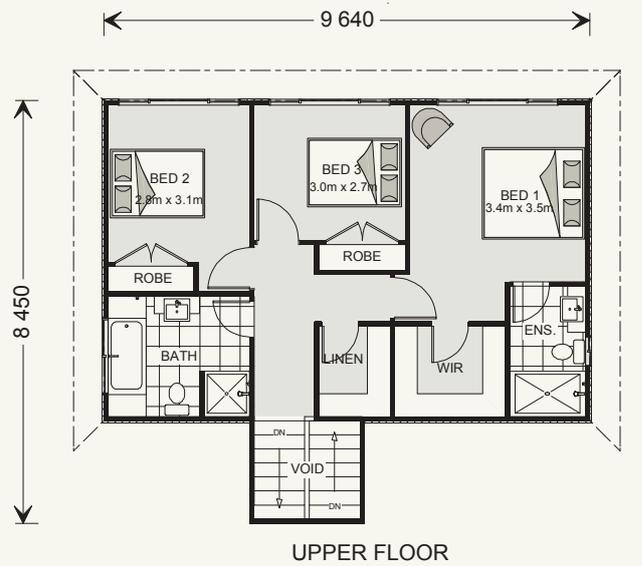
SPECIFICATIONS

GF Living	85.1 sqm	9.15 sq
UF Living	61.5 sqm	6.61 sq
Garage	37.7 sqm	4.05 sq
Alfresco	8.7 sqm	0.93 sq
Porch	3.2 sqm	0.34 sq
Void	4.9 sqm	0.52 sq
GF Total	134.7 sqm	14.48 sq
UF Total	61.5 sqm	6.61 sq
Total	201.1 sqm	21.62 sq

TOTAL AREA

Width: 11.26 m

Length: 12.79 m



Legana 201 Classic facade floor plan

NOTES

CLASSIC



BEACH



RESORT



Tamar 205

The Tamar is a home perfect for a block with a downward slope.

A four bedroom home with open plan living and space the whole family can enjoy. A split bedroom setup with two bedrooms upstairs and two downstairs, the Tamar has a unique layout that gives everyone a bit of space and privacy.

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Tamar 205

4  2.5  2 

FEATURES

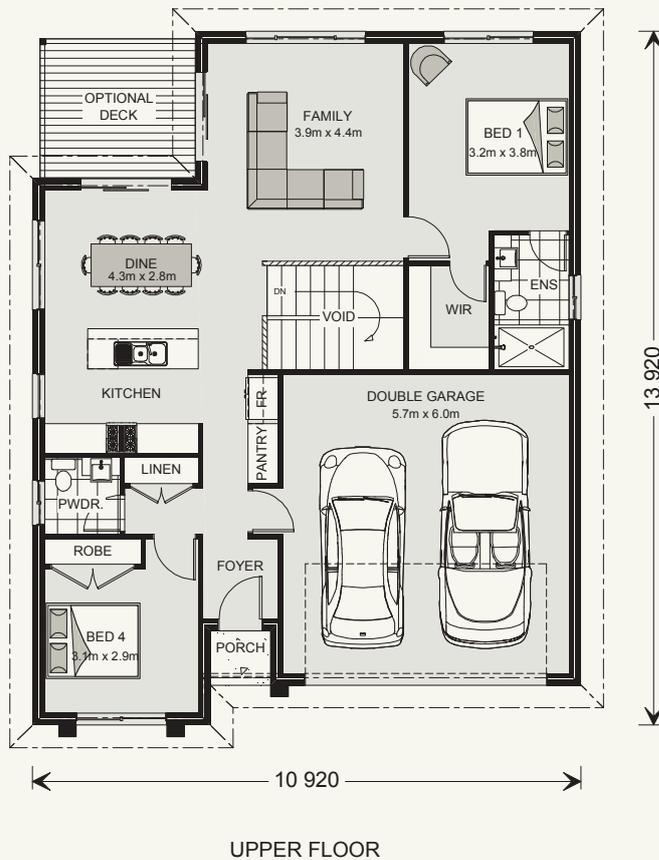
- + 4 bedrooms
- + Ensuite & walk in robe to master bedroom
- + Kitchen
- + Family room
- + Dining room
- + Rumpus room
- + Double garage

SPECIFICATIONS

GF Living	68.3 sqm	7.34 sq
UF Living	97.1 sqm	10.44 sq
Garage	37.9 sqm	4.07 sq
Optional deck	8.7 sqm	0.93 sq
Porch	1.5 sqm	0.16 sq
GF Total	68.3 sqm	7.34 sq
UF Total	136.5 sqm	14.67 sq
Total	204.8 sqm	22.02 sq

TOTAL AREA

Width: 10.92 m
Length: 13.92 m



Tamar 205 Classic facade floor plan

NOTES

BEACH



CLASSIC



RESORT



Windsor 233

As soon as you enter the second level of the home you are greeted with an open plan living area creating a great central hub of the home for the family.

The master bedroom is separated to the remaining bedrooms, creating a quiet space for adults. The remaining 3 bedrooms are well set out finishing off this well designed home.

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Windsor 233

4  2.5  2 

FEATURES

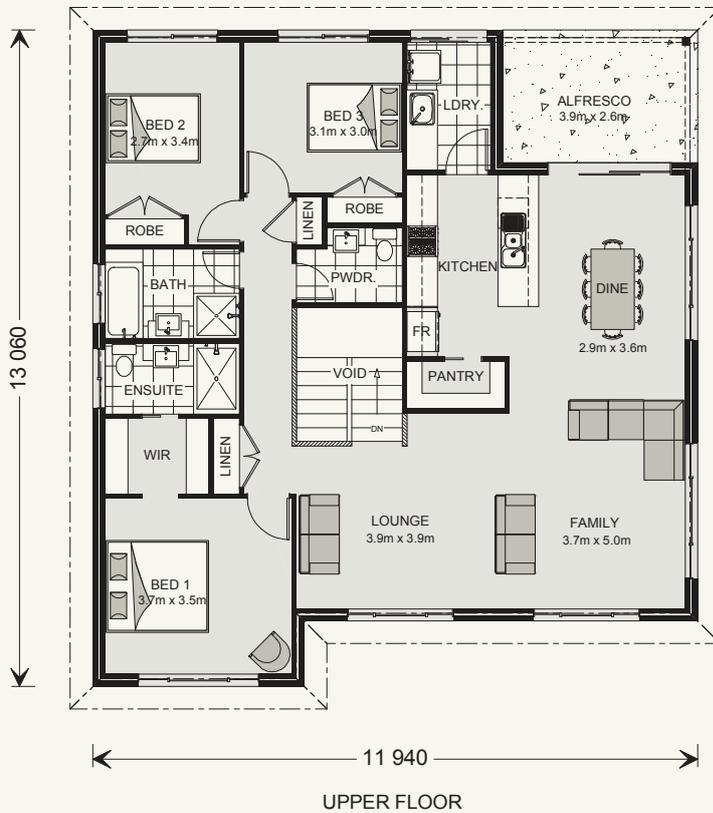
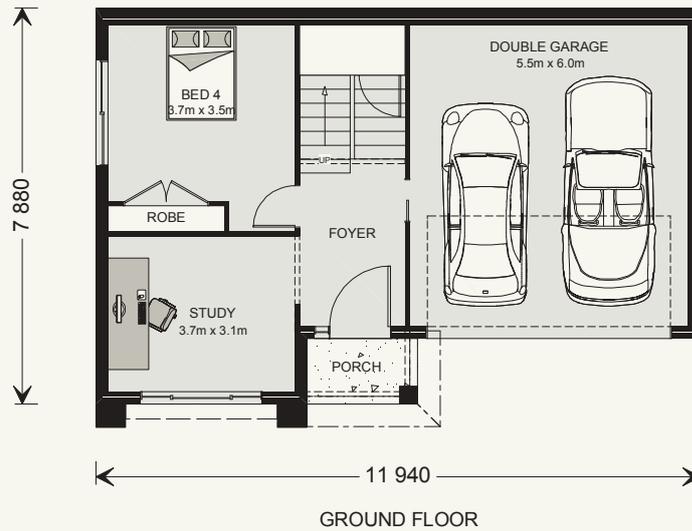
- + 4 bedrooms
- + Ensuite & walk in robe to master bedroom
- + Kitchen
- + Walk in pantry
- + Family room
- + Dining room
- + Lounge room
- + Alfresco
- + Double garage
- + Study

SPECIFICATIONS

GF Living	45.6 sqm	4.90 sq
UF Living	130.0 sqm	13.97 sq
Garage	38.4 sqm	4.12 sq
Alfresco	10.2 sqm	1.09 sq
Porch	2.8 sqm	0.30 sq
Void	5.6 sqm	0.60 sq
GF Total	86.8 sqm	9.33 sq
UF Total	145.8 sqm	15.67 sq
Total	232.6 sqm	25.01 sq

TOTAL AREA

Width: 11.94 m
Length: 13.06 m



Windsor 233 Classic facade floor plan

NOTES

URBAN



CLASSIC



RESORT



Inglewood 247

When you enter the upper floor of the Inglewood 247, you're greeted with an open plan living area creating a great central hub of the home for the family.

The optimum privacy and seclusion is offered for adults, with the master bedroom separated to the remaining bedrooms.

Images may depict landscaping, fences and upgraded fixtures, features or finishes which are not included in the prices stated. For availability and pricing of these items please discuss with your new home consultant.

Inglewood 247

4  2.5  2 

FEATURES

- + 4 Bedrooms
- + Bathroom & separate WC
- + Upper Floor main living area
- + Alfresco
- + Kitchen with butler's pantry.
- + Lounge Room
- + Ensuite & walk in robe to master bedroom
- + Large Laundry
- + Open Plan Family and dining room
- + Double Garage
- + Foyer
- + Activity room
- + Powder Room

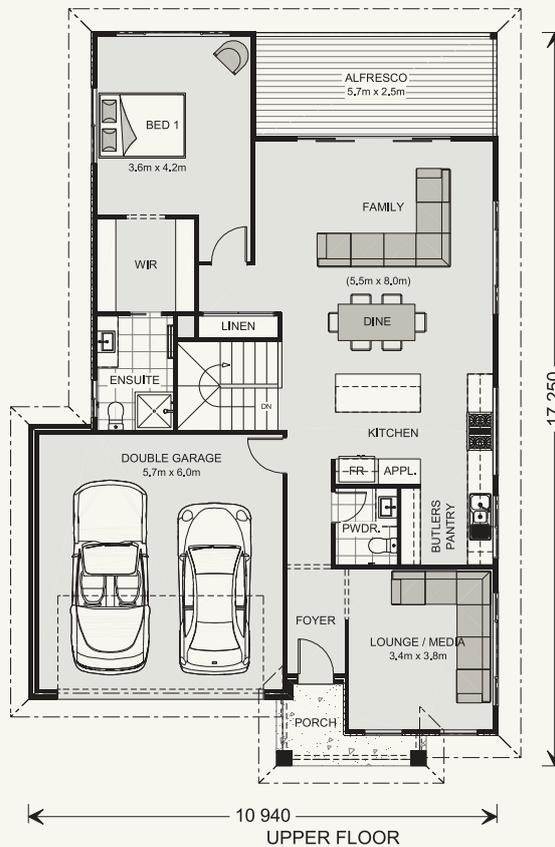
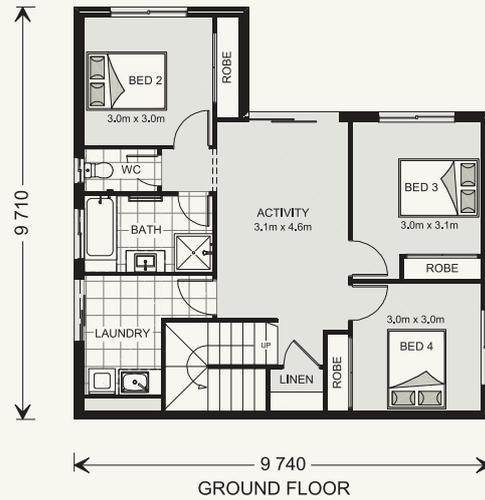
SPECIFICATIONS

GF Living	80.6 sqm	8.67 sq
UF Living	108.7 sqm	11.70 sq
Garage	37.5 sqm	4.03 sq
Alfresco	14.0 sqm	1.50 sq
Porch	4.4 sqm	0.47 sq
UF Total	164.6 sqm	17.71 sq
GF Total	80.6 sqm	8.67 sq
Total	245.2 sqm	26.39 sq

TOTAL AREA

Width: 10.94 m

Length: 17.25 m



Inglewood 247 Classic facade floor plan

NOTES

CLASSIC



URBAN



RESORT



Carseldine 270

The Carseldine 270 offers a four bedroom home with open plan living and space the whole family can enjoy. A split bedroom setup allowing privacy for the master bedroom upstairs and the remaining 3 bedrooms downstairs, the Carseldine offers the ideal family and entertaining hub

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Carseldine 270



FEATURES

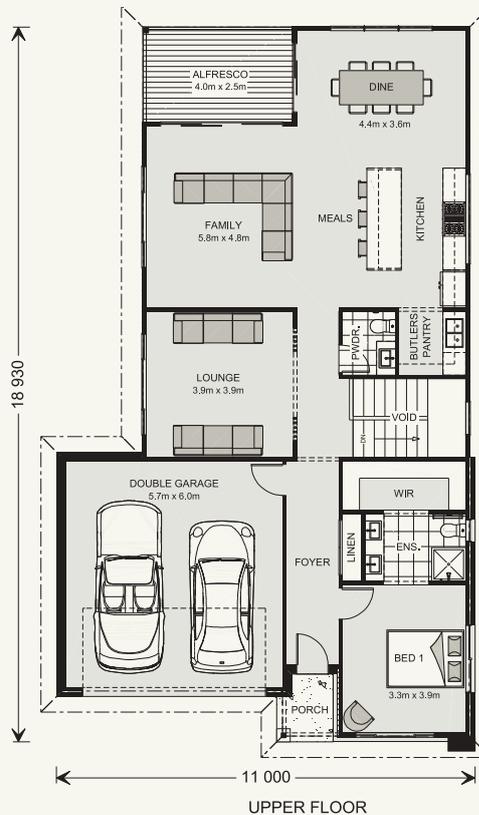
- + 4 Bedrooms
- + 3-way Bathroom & separate WC
- + Upper Floor main living area
- + Alfresco
- + Kitchen with butler's pantry.
- + Lounge Room
- + Ensuite & walk in robe to master bedroom
- + Large Laundry with linen cupboard
- + Open Plan Family and dining room
- + Powder Room
- + Double Garage
- + Rumpus room

SPECIFICATIONS

GF Living	94.3 sqm	10.15 sq
UF Living	124.1 sqm	13.35 sq
Garage	37.7 sqm	4.05 sq
Alfresco	10.0 sqm	1.07 sq
Porch	2.4 sqm	0.25 sq
GF Total	94.3 sqm	10.15 sq
UF Total	174.2 sqm	18.75 sq
Total	268.5 sqm	28.90 sq

TOTAL AREA

Width:	11.00 m
Length:	18.93 m



Carseldine 270 Classic facade floor plan

NOTES

CLASSIC



URBAN



RESORT



Stamford 317

With an abundance of living space the Stamford 317 is the ideal family home. A separate ground floor bedroom with private ensuite and lounge is ideal for teenagers or guests, while the upper floor features a separate kids' zone with activity room, bathroom and powder room.

Entertaining is covered via a well-appointed kitchen with butler's pantry, huge open-plan living area, large master bathroom and first floor balcony to the front of the home, while sliding glass doors to the rear easily open to reveal a breezy alfresco area.

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Stamford 317

4  3.5  2 

FEATURES

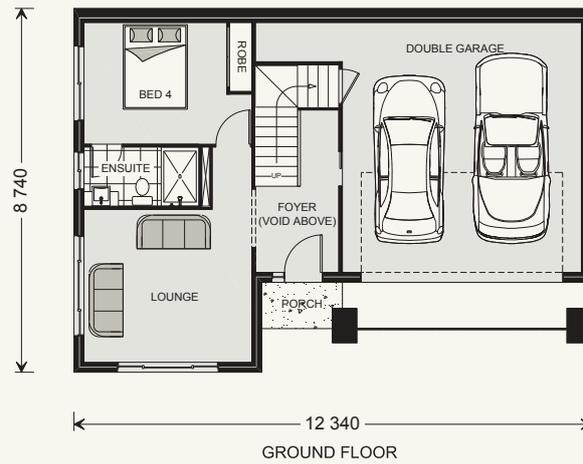
- + Ensuite & walk in robe to master bedroom
- + Two separate lounge areas
- + Family area
- + Butlers pantry
- + Alfresco
- + Balcony
- + Dining area

SPECIFICATIONS

GF Living	49.2 sqm	5.29 sq
UF Living	188.3 sqm	20.26 sq
Garage	41.7 sqm	4.48 sq
Alfresco	15.0 sqm	1.61 sq
Porch	2.1 sqm	0.22 sq
Balcony	7.4 sqm	0.79 sq
Void	12.5 sqm	1.34 sq
GF Total	93.0 sqm	10.01 sq
UF Total	223.2 sqm	24.02 sq
Total	316.2 sqm	34.03 sq

TOTAL AREA

Width:	12.34 m
Length:	18.76 m



Stamford 317 Classic facade floor plan

NOTES





Idea photos only, no correlation to home shown.

Locals always at hand.

Designing and building your ideal home is an exciting experience, and when you partner with professional and established builders – G.J. Gardner Homes, the journey will be fulfilling and rewarding.



Idea photos only, no correlation to home shown.

Regatta.



Allow yourself to imagine the lifestyle you've always wanted, in the home you deserve!

The Regatta 264 boasts an elegant design, perfectly suited to sites that slope sideways. The large master bedroom is on the ground floor and features a stylish double ensuite, walk-in robe and study area, with good separation from four upstairs bedrooms.

Also on the ground floor are a separate lounge or media room and a large, open plan living zone that takes in the well-appointed kitchen with island bench, dining and family spaces and easy access to the alfresco area. The upper level provides the ideal kids' retreat including bedrooms, an activity room and a central bathroom.

Regatta Designs offer individually crafted facades that will inspire you by providing a choice of homes that reflect your personal lifestyle and preferences.

Welcome **home.**

G.J. Gardner. **HOMES**

Regatta facade options.

G.J. Gardner's tailored facades give you the opportunity to personalise your home.

With Executive, Classic, Resort & Urban facades to choose from, you can bring your home to life, making it as individual as you are!



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Regatta 264.

5  2.5  2 

FEATURES

- + Large open-plan family room
- + Lifestyle alfresco area
- + Lounge / media room
- + Activity room

SPECIFICATIONS

Floor Area-Ground

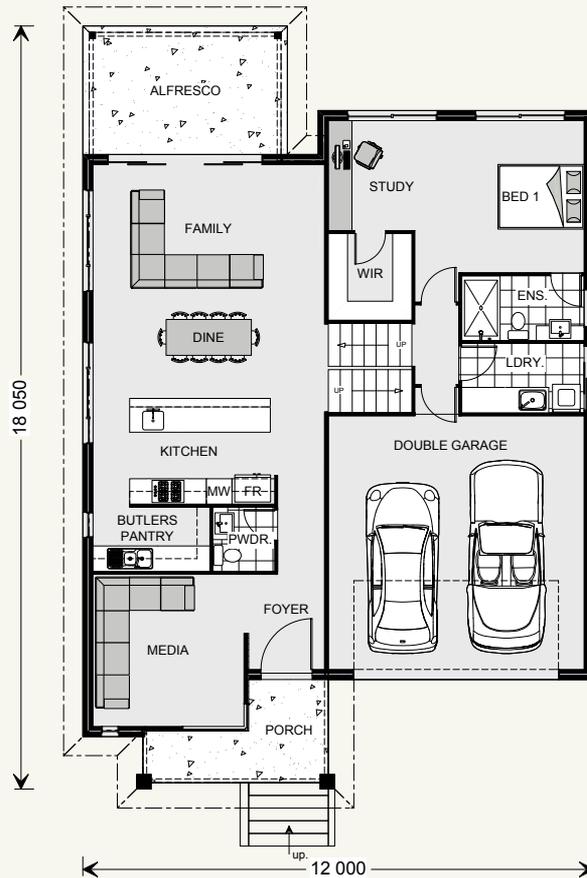
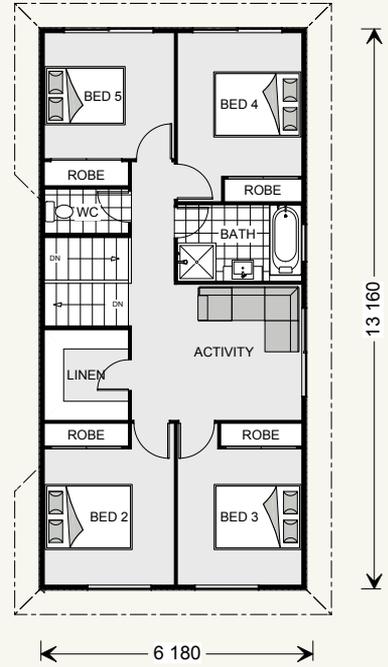
Living:	121.6 m ²
Garage:	39.0 m ²
Alfresco:	14.6 m ²
Porch:	7.7 m ²
Total:	182.9 m ²
Width:	12.00 m
Length:	18.05 m

Floor Area-Upper

Living:	81.3 m ²
Total:	81.3 m ²

Total Area

Total:	264.2 m ²
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NOTES

**Locals always
at hand.**

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Internal photographs are from different G.J. Gardner Homes to those featured in this brochure.

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G.J. Gardner. HOMES

Waterford.



Allow yourself to imagine the lifestyle you've always wanted, in the home you deserve!

The Waterford 234 has been specifically designed to suit sites that slope both to the front and across the site. The split-level layout provides great separation of spaces and elegant aesthetic appeal.

A spacious, open-plan main living zone attracts plenty of natural light and breezes and opens seamlessly onto the alfresco dining area. With four double bedrooms, a separate lounge/media room, open-plan family spaces and more, this home has everything the busy modern family needs.

Waterford Designs offer individually crafted facades that will inspire you by providing a choice of homes that reflect your personal lifestyle and preferences.

Welcome **home.**

G.J. Gardner. HOMES

Waterford facade options.

G.J. Gardner's tailored facades give you the opportunity to personalise your home. With Executive, Classic, Resort & Urban facades to choose from, you can bring your home to life, making it as individual as you are!

CLASSIC



RESORT



URBAN



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Waterford 234.



FEATURES

- + Huge open-plan family room
- + Separate lounge / media room
- + Master bedroom with deck
- + Double ensuite

SPECIFICATIONS

Floor Area-Ground

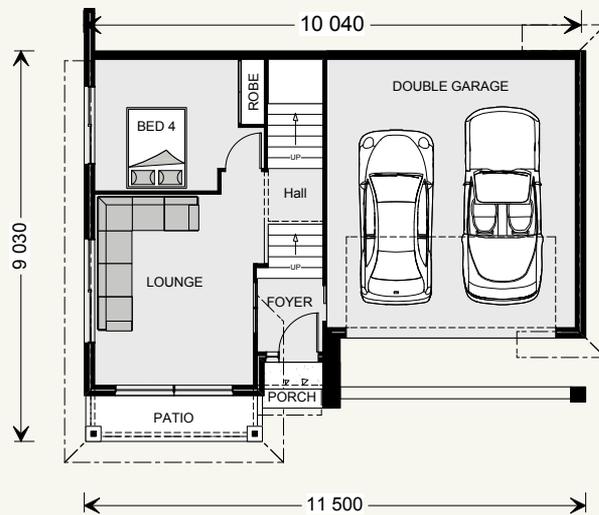
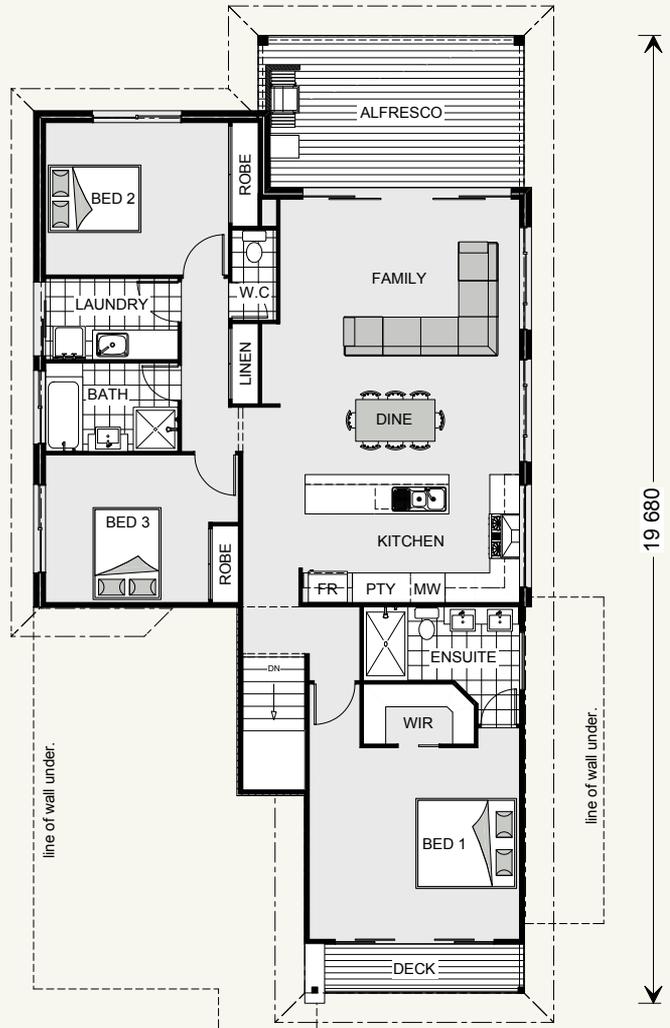
Living:	39.1 m ²
Garage:	39.4 m ²
Porch:	1.9 m ²
Patio:	4.3 m ²
Total:	84.7 m ²

Floor Area-Upper

Living:	128.5 m ²
Alfresco:	16.2 m ²
Deck:	4.4 m ²
Total:	149.1 m ²
Width:	10.04 m
Length:	19.68 m

Total Area

Total:	233.8 m ²
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NOTES

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The Windsor.



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Australia's Best National Home Builder on Product Review



Fixed Price Contracts



Facts Up Front

BEACH



CLASSIC



Cleverly designed to suit sites that slope towards the front, the Windsor 268 provides the perfect combination of separation and open-plan living.

It features three separate living zones, including an open-plan family area with large sliding doors for a seamless transition to the outdoor living spaces on the high side of the site. Four bedrooms, a media room and a designated study offer ample space for the whole family, while an elegant design encourages natural light and cross breezes to all areas of this home.



Key Features:

- + The open plan kitchen, dining and family create the ultimate hub for gathering together.
- + Four bedrooms plus study allows paramount functionality and space for everyone
- + Barbeque on the large lifestyle alfresco – it's the perfect way to unwind and connect.
- + The split-level layout provides great separation of spaces and elegant aesthetic appeal.

Windsor 233.

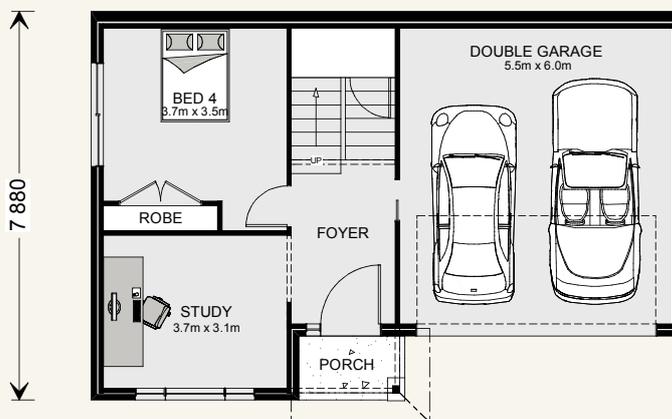
4  2.5  2 
 Suits standard lot width: 15m +

Floor sizes - Resort Façade

Living:	175.6 m ²	Porch:	2.8 m ²
Garage:	38.4 m ²	Void:	5.6 m ²
Alfresco:	10.2 m ²	Total:	232.6 m²



11 790



11 940

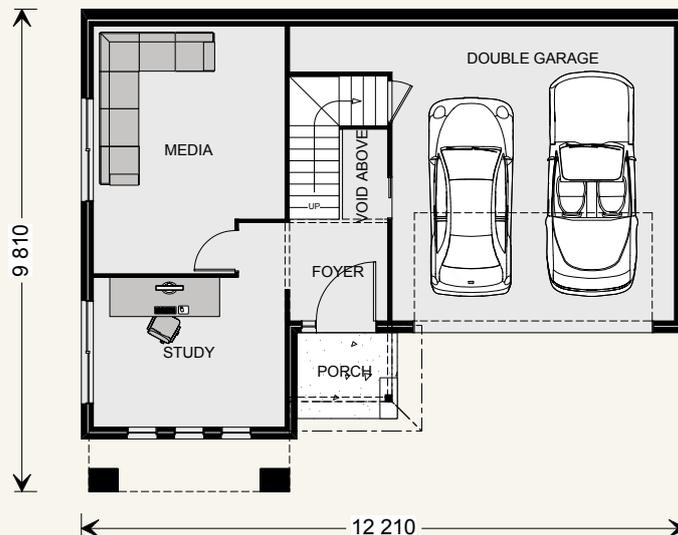
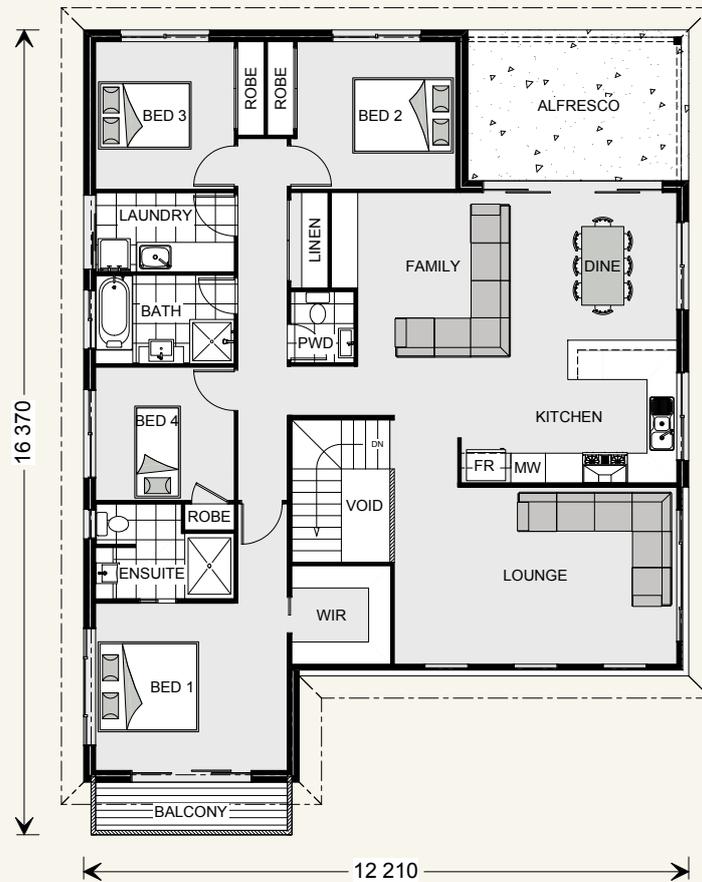
Windsor 268.

4  2.5  2 
 Suits standard lot width: 15m +

Floor sizes - Resort Façade

Living: 198.6 m²
 Garage: 41.7 m²
 Alfresco: 13.7 m²

Porch: 3.5 m²
 Void: 5.7 m²
 Balcony: 4.3 m²
Total: 267.5 m²



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National Home Builder
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HOMES



Laguna

Laguna 278

4 | 3 | 2

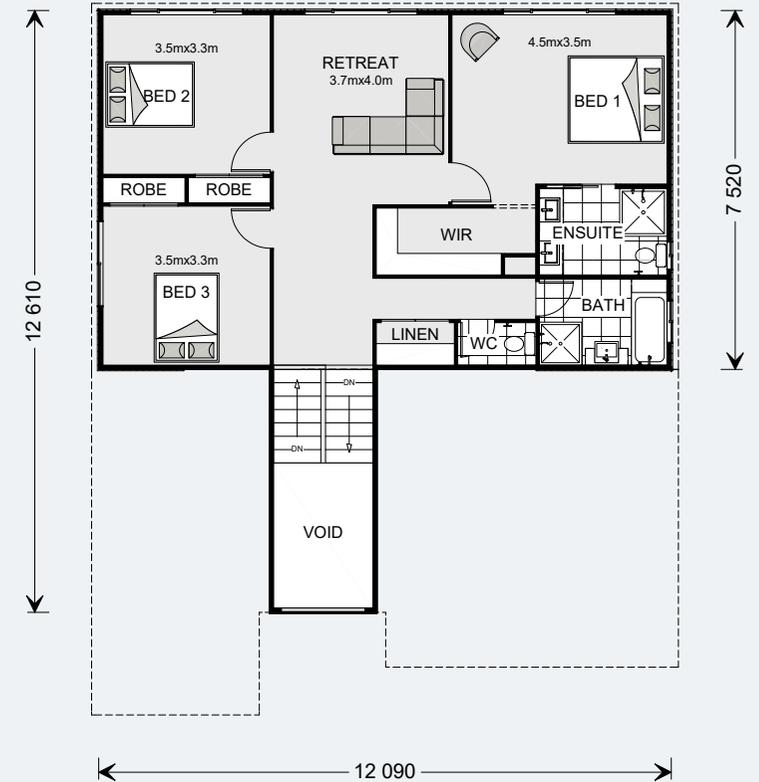
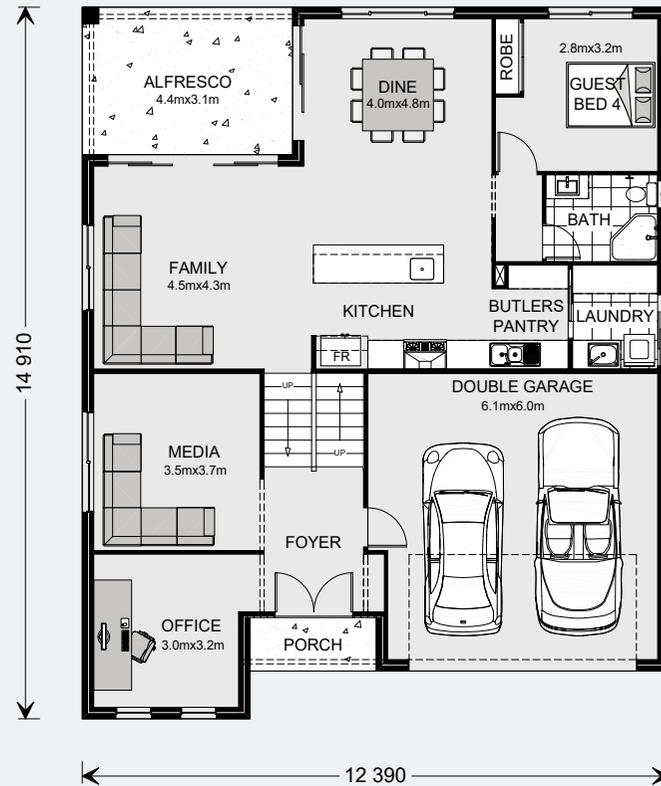
Ground Floor

Living	120.2 m ²
Garage	38.9 m ²
Alfresco	13.7 m ²
Portico	3.1 m ²
Total	175.9 m²

Upper Floor

Living	91.6 m ²
Void	10.9 m ²
Total	102.5 m²
Grand Total	278.4 m²

278 Resort Floorplan



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Laguna

The Laguna split level design offers individually crafted facades that will inspire you by providing a choice of homes that reflect your personal lifestyle and preferences.

The Laguna boasts a striking split-level façade and is designed beautifully to complement sites that slope down toward the rear of the site.

Set over three levels, it features a private office and media room on the entry level with double garage before continuing downstairs to the open-plan main living zone, where entertaining is a delight. A well-appointed kitchen with butler's pantry and island bench is complimented by the family and dining rooms that wraps around the outdoor alfresco. There is also a guest bedroom with its own bathroom.

On the upper level are the remaining three bedrooms, including the master with stylish ensuite, walk-in robe and a private family retreat. This design offers the modern family all the luxury extras and space that will have everyone living well.

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Laguna

ALFRESCO



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Laguna

KITCHEN



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Laguna

MASTER BEDROOM



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Laguna

ENSUITE



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Laguna

DINING



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Laguna

MEDIA ROOM



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Laguna

RETREAT



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Laguna

URBAN



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Laguna

RESORT



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Laguna

CLASSIC



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Seaview

Seaview 333

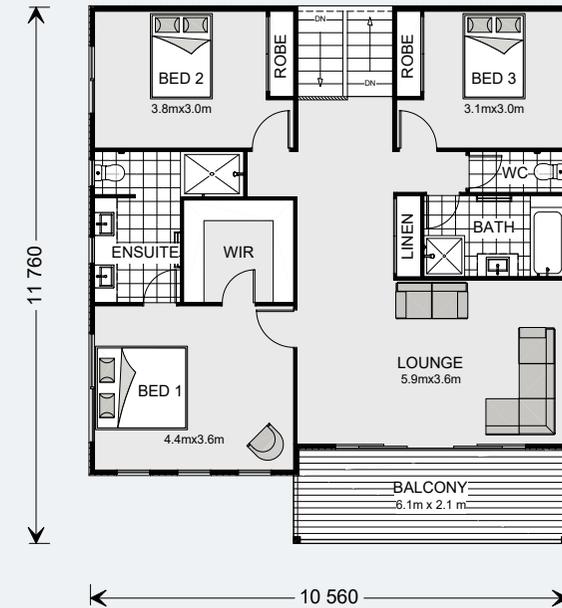
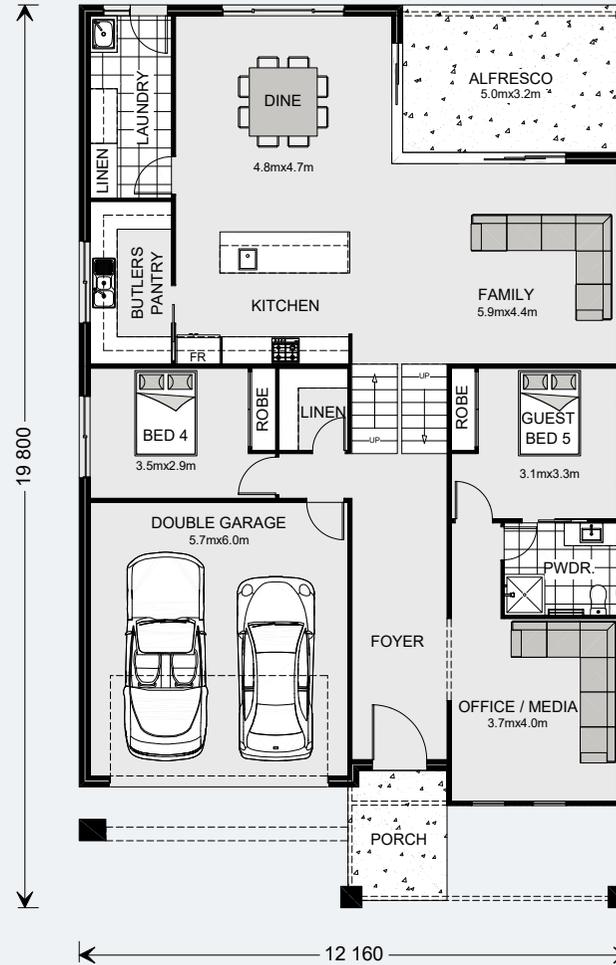
5 3 2

Ground Floor

Living	156.0 m ²
Garage	37.2 m ²
Alfresco	16.2 m ²
Porch	6.2 m ²
Total	215.6 m²

Upper Floor

Living	100.7 m ²
Void	4.1 m ²
Balcony	12.6 m ²
Total	117.4 m²
Grand Total	333.0 m²



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Seaview 321

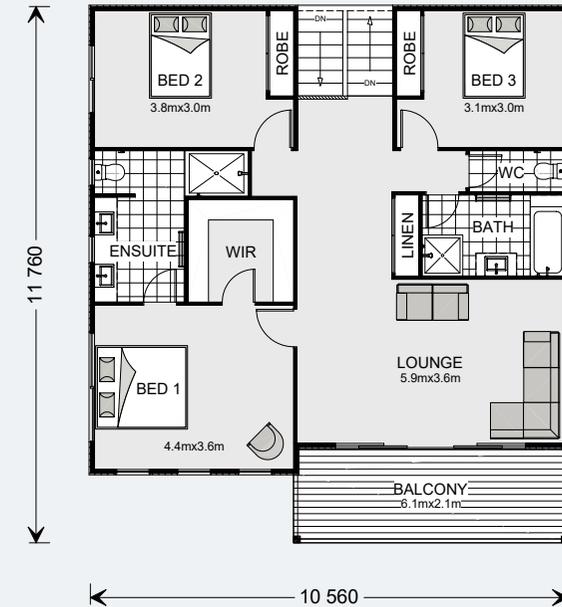
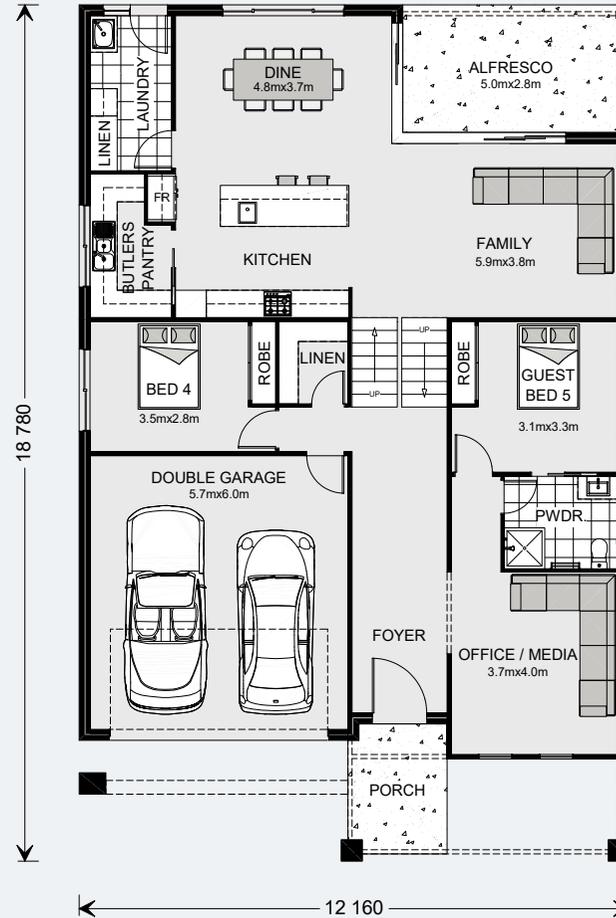
5 3 2

Ground Floor

Living	145.8 m ²
Garage	37.2 m ²
Alfresco	14.0 m ²
Porch	6.2 m ²
Total	203.2 m²

Upper Floor

Living	100.7 m ²
Void	4.1 m ²
Balcony	12.6 m ²
Total	117.4 m²
Grand Total	320.6 m²



Images in this brochure may depict landscaping, fences and upgraded fixtures, features or finishes which are not included. For availability and pricing of these items please discuss with your new home consultant.

Seaview 297

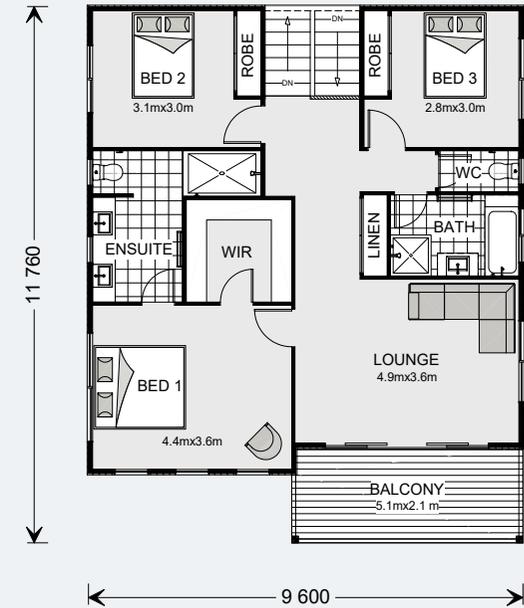
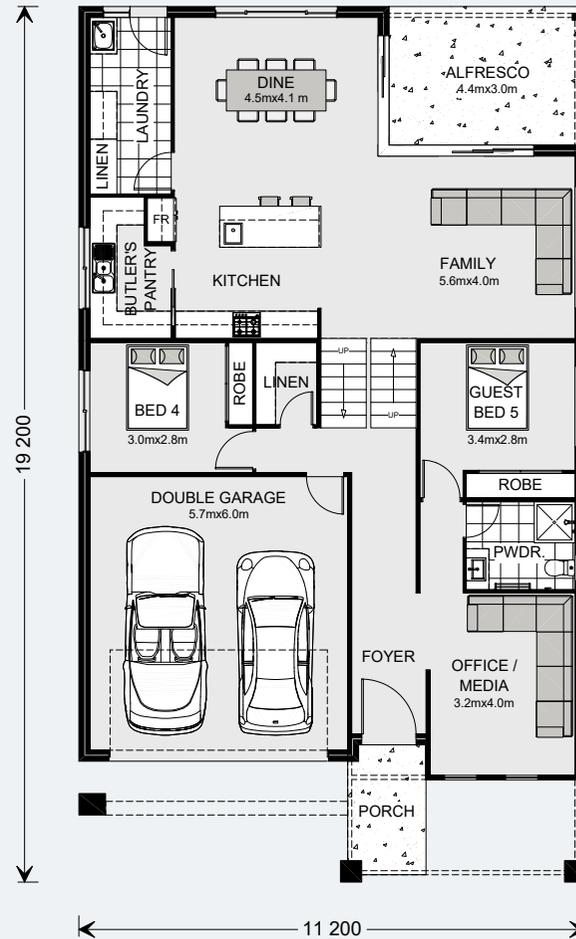
5 | 3 | 2

Ground Floor

Living	135.9 m ²
Garage	37.2 m ²
Alfresco	13.2 m ²
Porch	4.8 m ²
Total	191.1 m²

Upper Floor

Living	91.4 m ²
Void	4.1 m ²
Balcony	10.6 m ²
Total	106.1 m²
Grand Total	297.2 m²



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Seaview 276

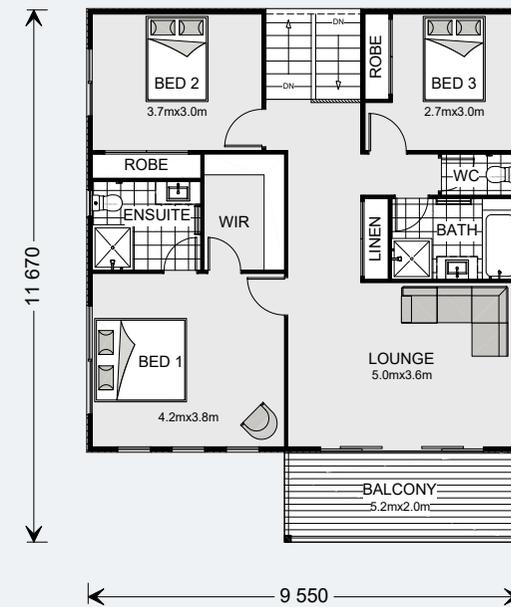
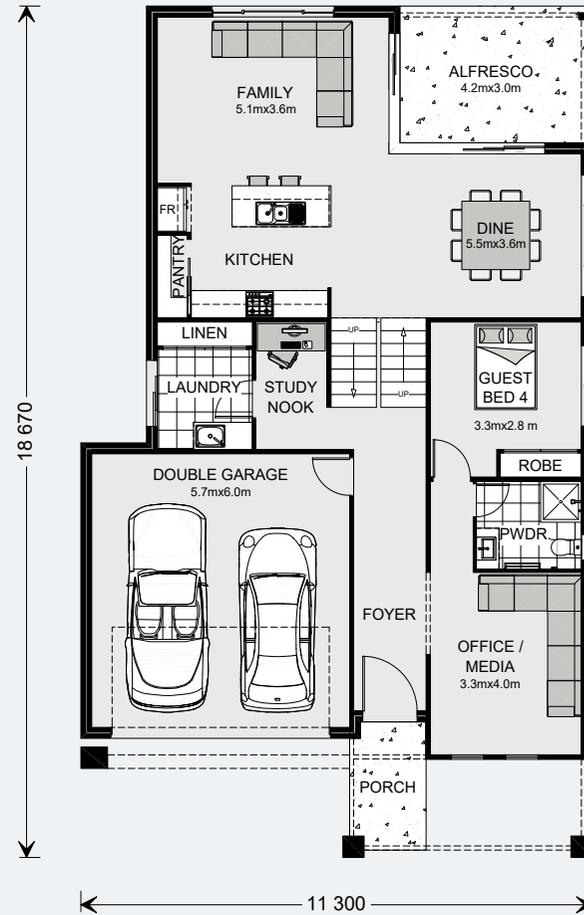
4 | 3 | 2

Ground Floor

Living	118.4 m ²
Garage	37.5 m ²
Alfresco	12.8 m ²
Porch	4.7 m ²
Total	173.4 m²

Upper Floor

Living	88.3 m ²
Void	4.1 m ²
Balcony	10.4 m ²
Total	102.8 m²
Grand Total	276.2 m²



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Seaview 267

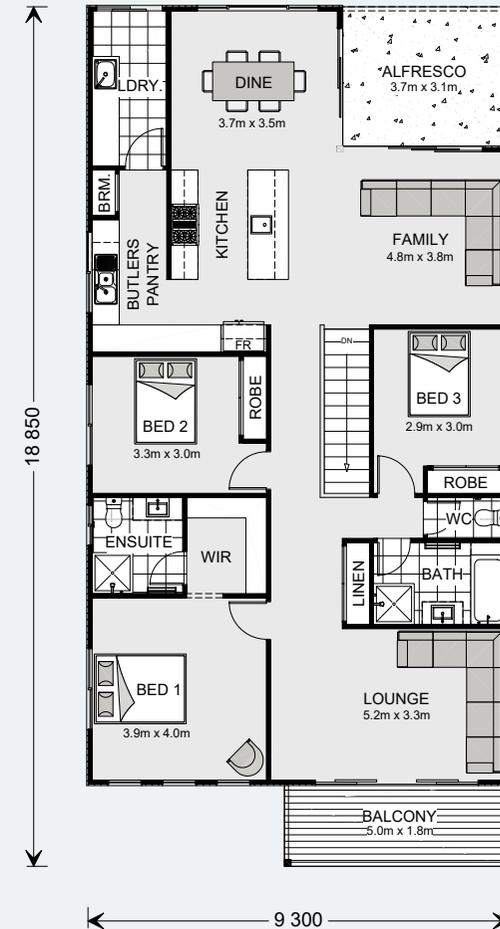
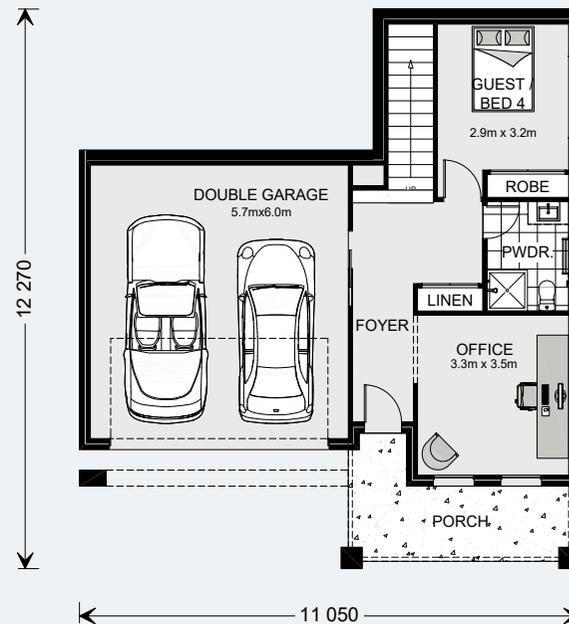
4 | 3 | 2

Gound Floor

Living	50.3 m ²
Garage	39.1 m ²
Porch	9.6 m ²
Total	99.0 m²

Upper Floor

Living	147.4 m ²
Alfresco	11.2 m ²
Balcony	8.9 m ²
Total	167.5 m²
Grand Total	266.5 m²



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Seaview

The Seaview split level design offers individually crafted facades that will inspire you by providing a choice of homes that reflect your personal lifestyle and preferences.

Designed to suit sites that slope toward the front of the home, the Seaview, set over three stylish levels is well equipped to meet your family's lifestyle needs.

Entering the home on the lower level, you find an office or Media room, 2 bedrooms and a bathroom before heading upstairs to the open plan living space where a huge kitchen with Island bench and butler's pantry overlooks the dining and Family areas. An undercover Alfresco area brings the outdoors in, creating a luxurious, relaxed, flowing space.

Relax and unwind in the lounge room upstairs and enjoy the benefits of an elevated living space that flows out onto the covered front Balcony. Escape to the huge open master bedroom suite with large well-appointed Ensuite and walk in robe creating a private haven feel.

Five well-separated bedrooms, three distinct zones and three bathrooms across three levels gives privacy and space for a growing family and guests.

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Seaview

MASTER BEDROOM



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Seaview

UF LOUNGE



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Seaview

KITCHEN



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Seaview

LOUNGE



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Seaview

BEDROOM



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Seaview

ALFRESCO



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Seaview

URBAN



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Seaview

CLASSIC



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Seaview

RESORT



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G.J. Gardner.
HOMES



Stamford

Stamford 317

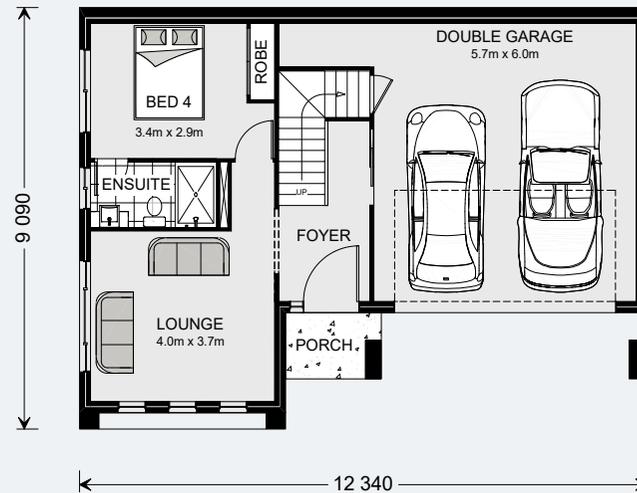
 4
  3.5
  2

Ground Floor

Living	49.1 m ²
Garage	41.7 m ²
Porch	3.0 m ²
Total	93.8 m²

Upper Floor

Living	188.1 m ²
Alfresco	15.0 m ²
Void	12.5 m ²
Balcony	7.5 m ²
Total	223.1 m²
Grand Total	316.9 m²



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Stamford

The Stamford split level design offers individually crafted facades that will inspire you by providing a choice of homes that reflect your personal lifestyle and preferences.

An abundance of living space both inside and out, makes the Stamford the ideal family home.

A separate ground floor bedroom with private ensuite and lounge is ideal for teenagers or guests, while the upper floor features a separate kids' zone with activity room, bathroom and powder room.

Entertaining is covered via a well-appointed kitchen with butler's pantry, huge open-plan living area and first floor balcony to the front of the home. Sliding glass doors open to the rear to reveal a covered alfresco area allowing cooling cross breezes to flow through the home.

With an impressive two storey frontage, the Stamford is designed for steep sites that slope down to the front of the home.

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Stamford

MASTER BEDROOM



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Stamford

KITCHEN



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Stamford

UF LOUNGE



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Stamford

LOUNGE



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Stamford

BEDROOM



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Stamford

ACTIVITY



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Stamford

URBAN



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Stamford

CLASSIC



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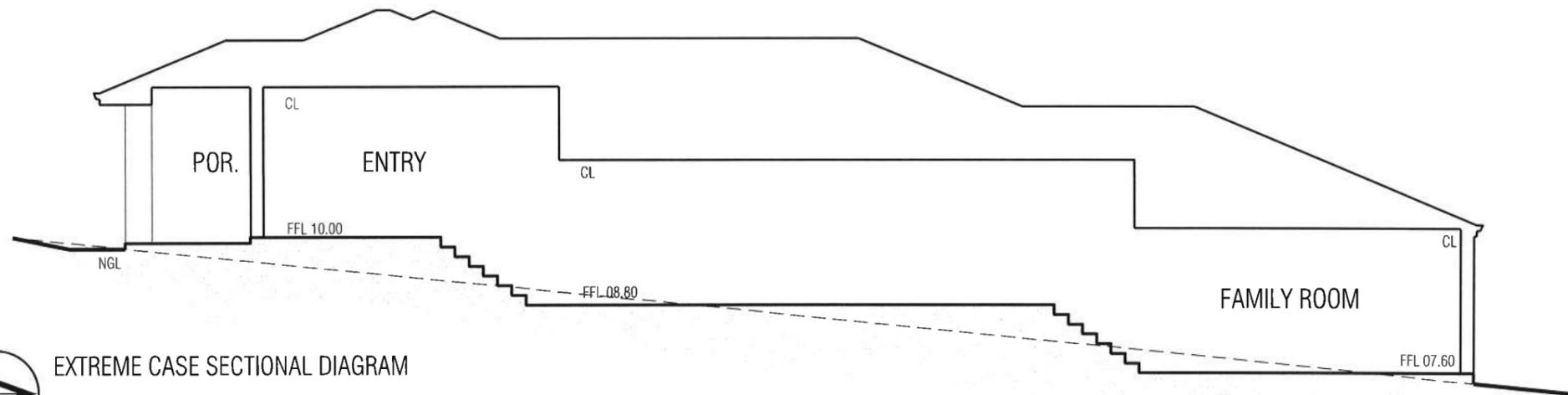
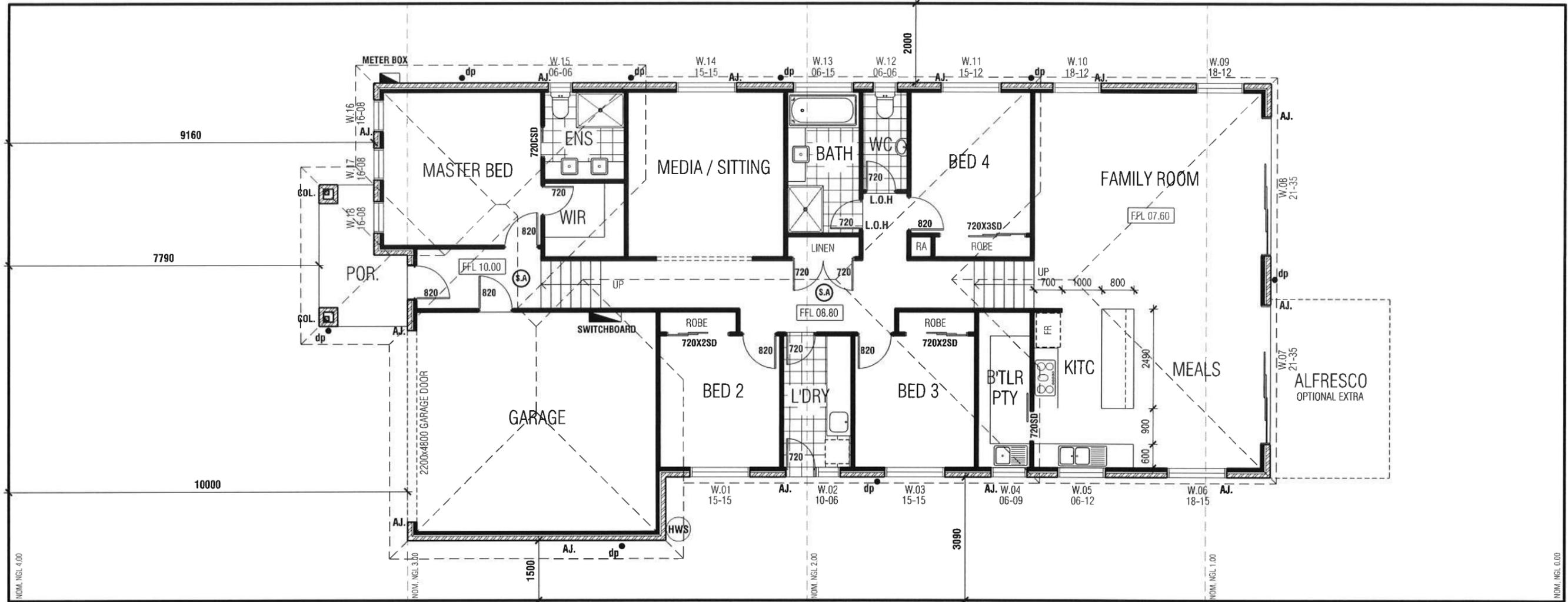
Stamford

RESORT



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INDICATIVE TITLE BOUNDARY



EXTREME CASE SECTIONAL DIAGRAM

CLASSIC FACADE
DESIGN 2-15M WIDE LOT-SLOPE TOWARDS REAR

LEGEND

- dp DOWN PIPE
- FW FLOOR WASTE
- ⊙ EF EXHAUST FAN
- ⊙ SA SMOKE ALARM
- ⊙ L.O.H LIFT OFF HINGES TO DOOR

TILE

- CP. SELECTED CARPET FLOOR COVERING
- FB. SOLID TIMBER HW FLOORBOARDS.
- AJ. ARTICULATION JOINTS.
- SELECTED TIMBER STUD FRAMING
- BRICK VENEER WALL CONSTRUCTION

AREA SCHEDULE

GROUND FLOOR AREA:	192.1 M ²
GARAGE AREA:	36.0 M ²
PORCH:	6.4 M ²
ALFRESCO:	OPTIONAL EXTRA M ²
TOTAL AREA:	25.2 SQ 234.5 M²

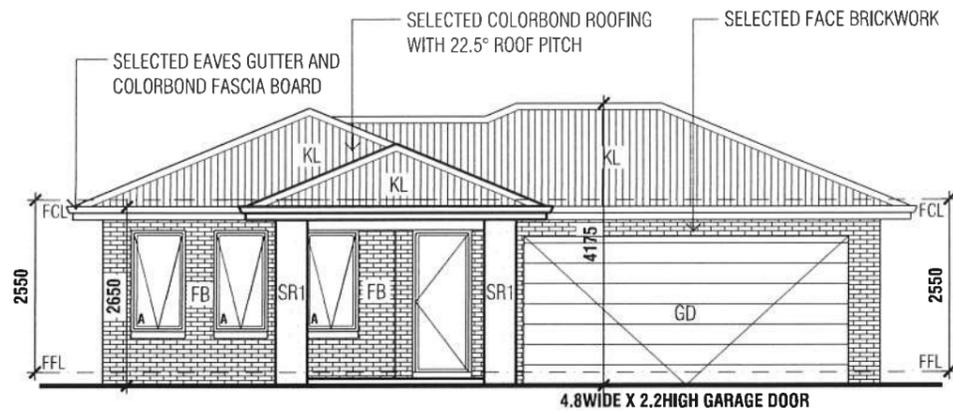
SITE FALL 1:10 AVG - FALL TO REAR

SOFIA 234 - CLASSIC

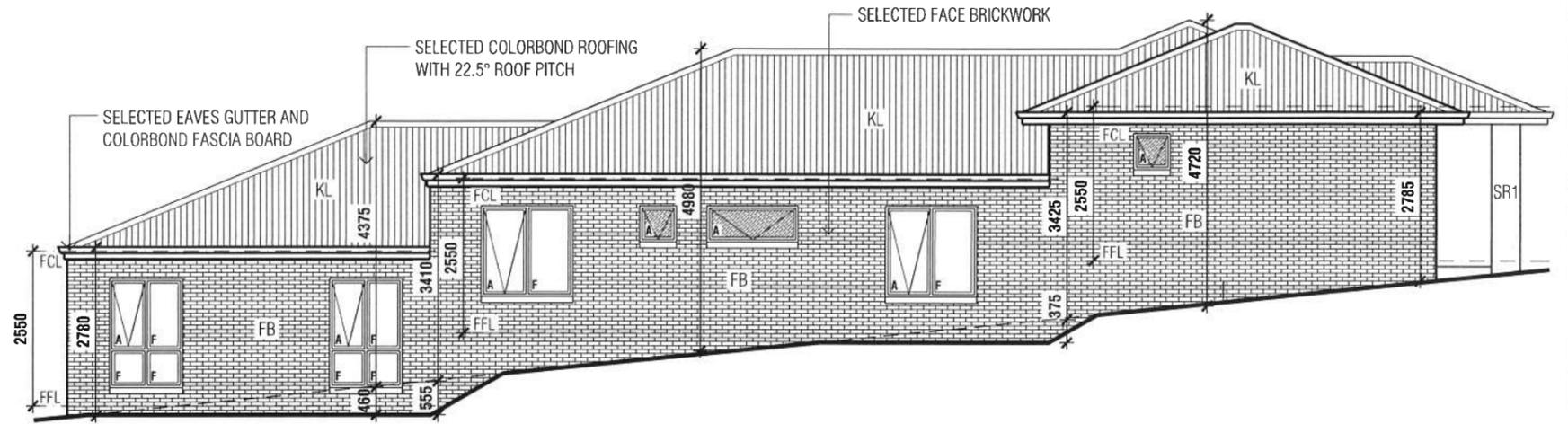
METRO - 15m WIDE LOTS

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FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALE.
BUILDERS & CONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.

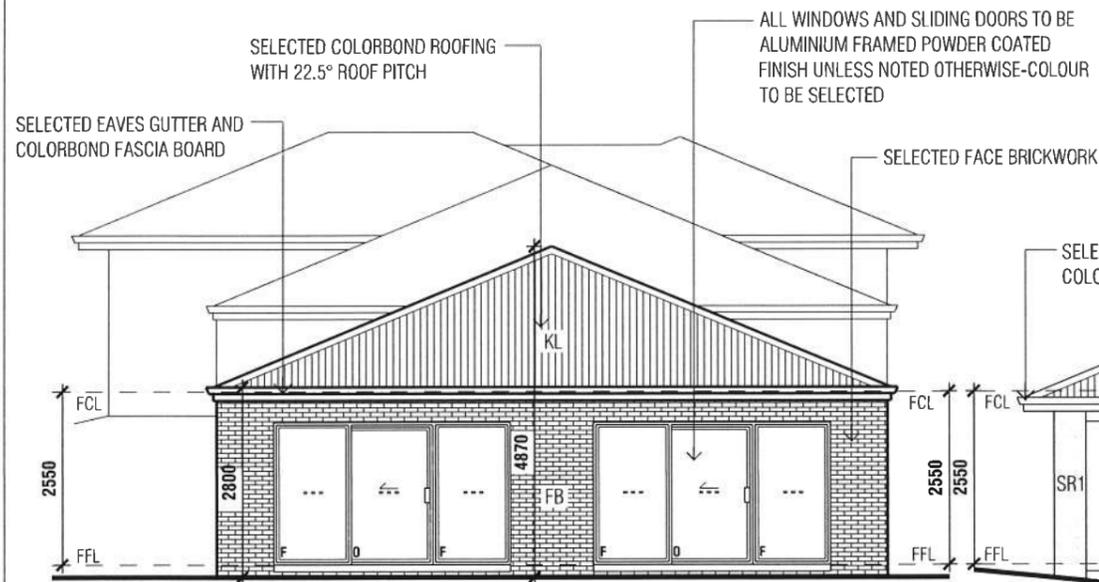
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INDICATIVE SITE PLAN			
DESIGN FOR SLOPING SITES ADDRESS			A01 REV-E



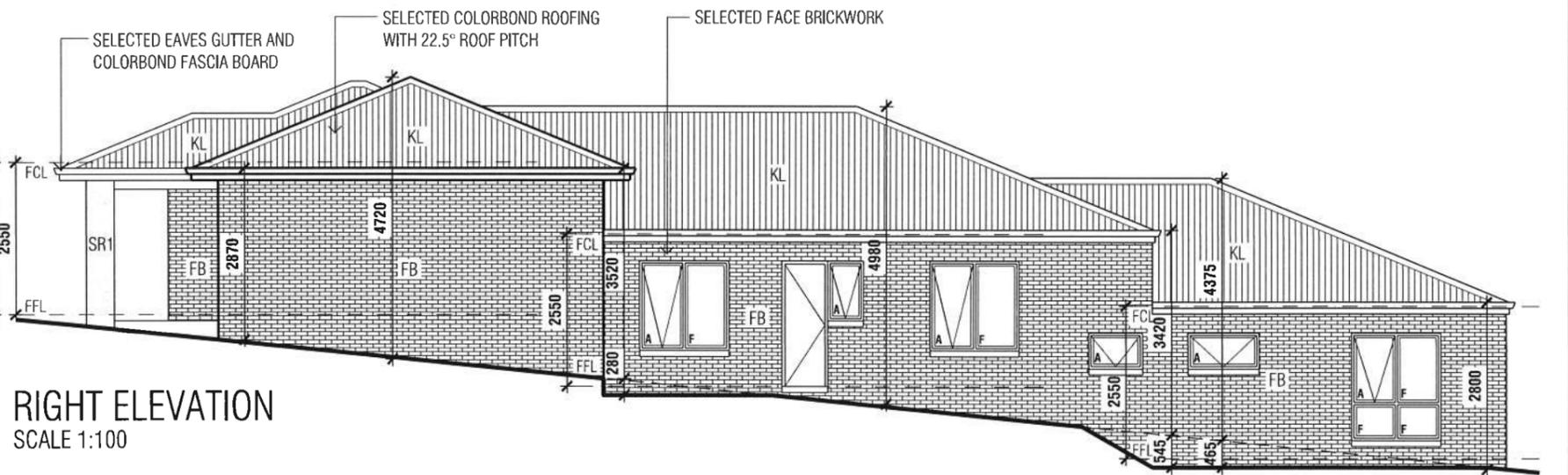
FRONT ELEVATION
SCALE 1:100



LEFT ELEVATION
SCALE 1:100



BACK ELEVATION
SCALE 1:100



RIGHT ELEVATION
SCALE 1:100

CLASSIC FACADE
DESIGN 2-15M WIDE LOT-SLOPE TOWARDS REAR

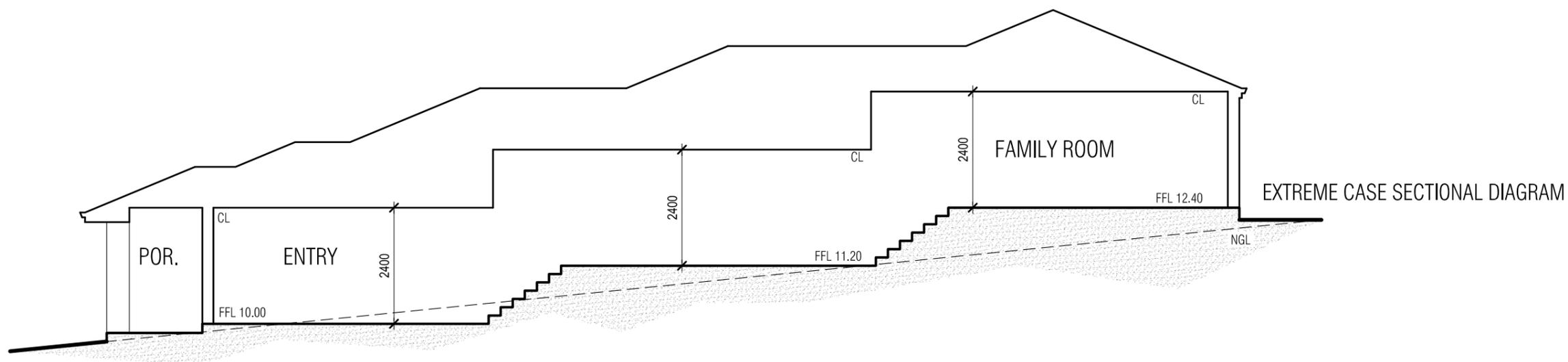
LEGEND

FB	FACE BRICKWORK
SR1	SMOOTH CEMENT RENDER FINISH
KL	COLORBOND ROOFING AT 22.5 DEGREES
GD	GARAGE DOOR
	OBSCURE GLASS
	COLORBOND GUTTERS, FASCIA & DOWNPIPES:
	ALU. FRAME WINDOWS IN CLEAR GLASS U.N.O.

SOFIA 234 - CLASSIC
METRO - 15m WIDE LOTS

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JUN 2012	1:100 @ A3	C.M	0000
ELEVATIONS			
DESIGN FOR SLOPING SITES ADDRESS			A03 REV-E



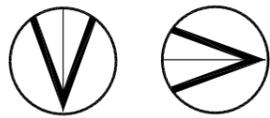
CLASSIC FACADE
 DESIGN 1-15M WIDE LOT-SLOPE TOWARDS STREET

PRAGUE 233 - CLASSIC
 METRO - 15m WIDE LOTS

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 LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.

DATE	SCALE	DRAWN BY	PROJECT No.
JUN 2012	1:100 @ A3	C.M	0000
SECTION			
DESIGN FOR SLOPING SITES ADDRESS			A00 REV-F

INDICATIVE TITLE BOUNDARY



IDEAL NORTHS

CLASSIC FACADE

DESIGN 1-15M WIDE LOT-SLOPE TOWARDS STREET

LEGEND

- dp DOWN PIPE
- FW FLOOR WASTE
- ⊙ EF EXHAUST FAN
- ⊙ SA SMOKE ALARM
- L.O.H LIFT OFF HINGES TO DOOR

- TILE SELECTED TILE FLOORING
- CP. SELECTED CARPET FLOOR COVERING
- FB. SOLID TIMBER HW FLOORBOARDS.
- AJ. ARTICULATION JOINTS.
- SELECTED TIMBER STUD FRAMING
- BRICK VENEER WALL CONSTRUCTION

AREA SCHEDULE

GROUND FLOOR AREA:	192.4 M ²
GARAGE AREA:	36.1 M ²
PORCH:	4.7 M ²
ALFRESCO:	OPTIONAL EXTRA M ²
TOTAL AREA:	25.1 SQ 233.2 M ²
SITE FALL 1:10 AVG - RISE TO REAR	

PRAGUE 233 - CLASSIC

METRO - 15m WIDE LOTS

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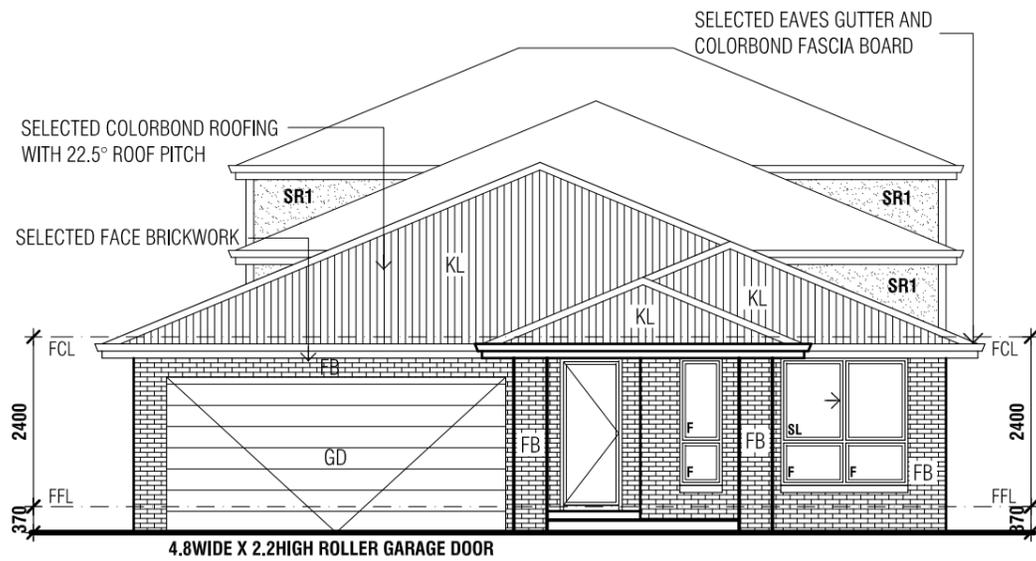
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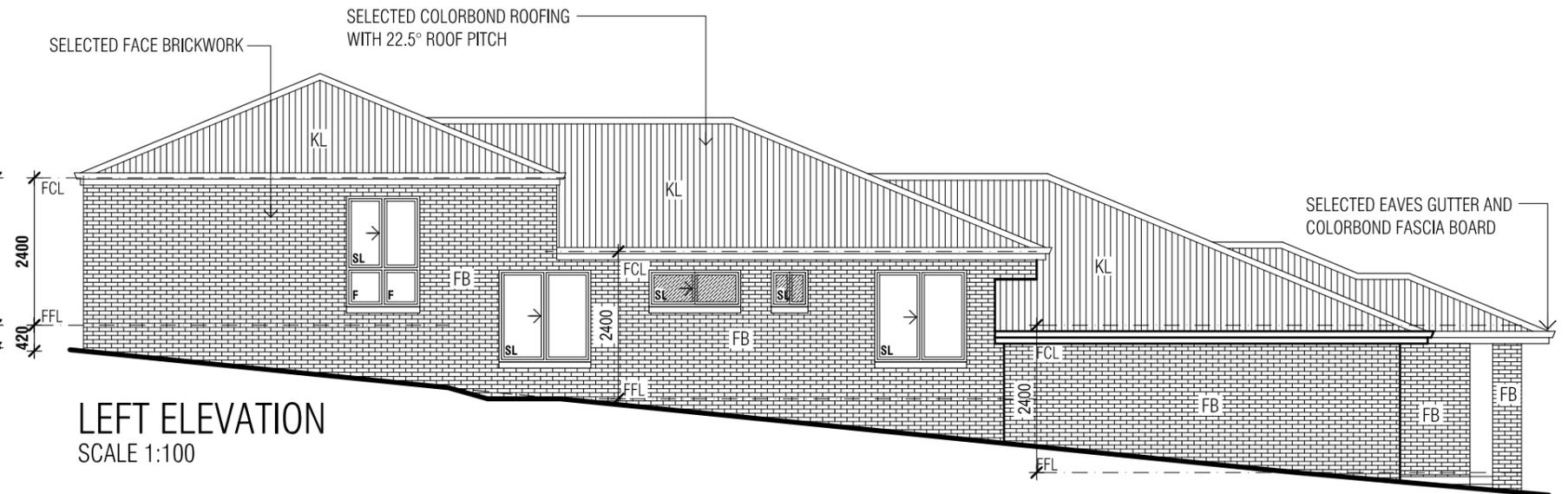
FLOOR PLAN

DESIGN FOR SLOPING SITES
ADDRESS

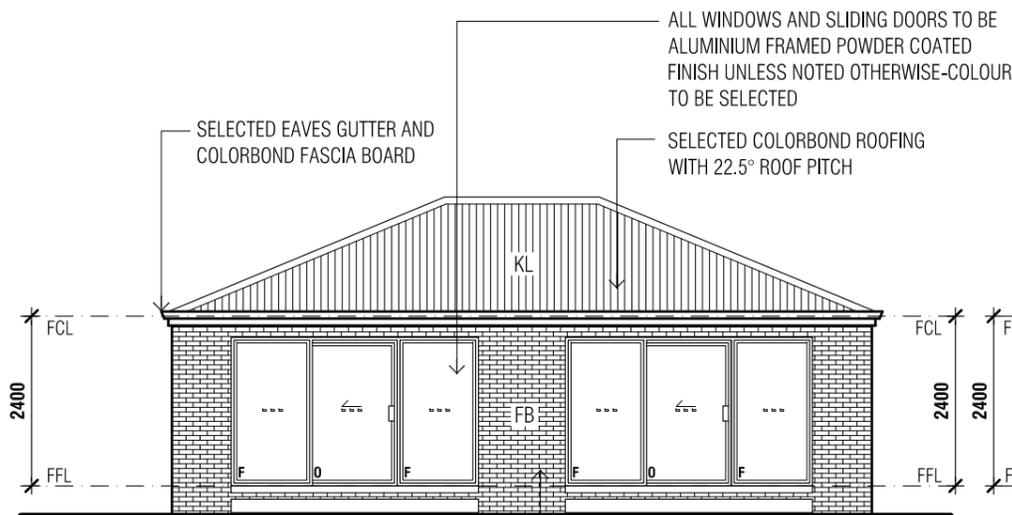
A01
REV-F



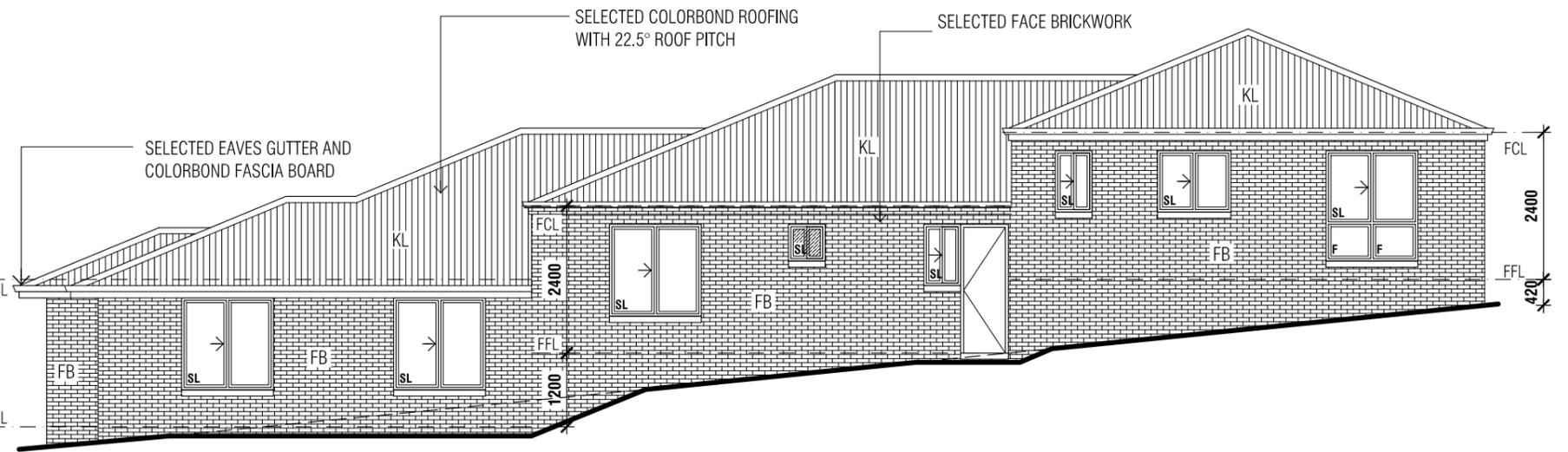
FRONT ELEVATION
SCALE 1:100



LEFT ELEVATION
SCALE 1:100



BACK ELEVATION
SCALE 1:100



RIGHT ELEVATION
SCALE 1:100

CLASSIC FACADE
DESIGN 1-15M WIDE LOT-SLOPE TOWARDS STREET

LEGEND

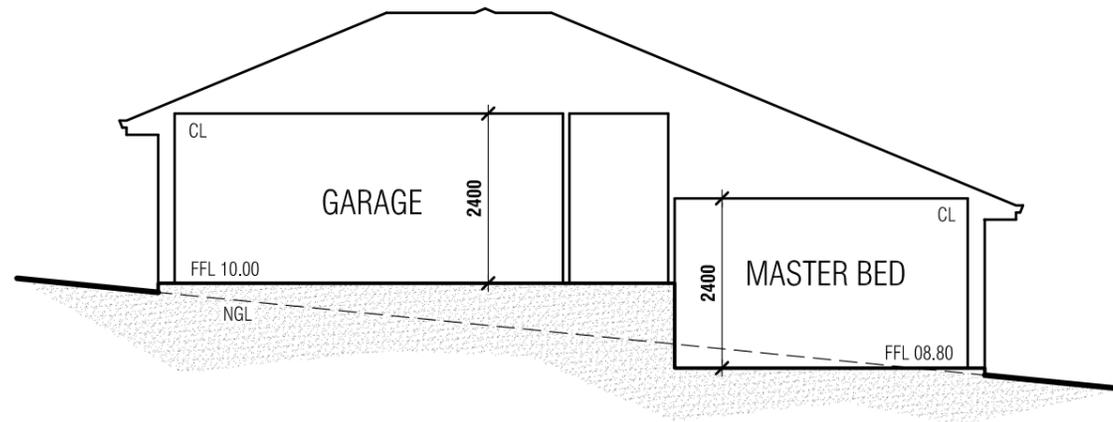
FB	FACE BRICKWORK
SR1	SMOOTH CEMENT RENDER FINISH
KL	COLORBOND ROOFING AT 22.5 DEGREES
GD	GARAGE DOOR
	OBSCURE GLASS
	COLORBOND GUTTERS, FASCIA & DOWNPIPES:
	ALU. FRAME WINDOWS IN CLEAR GLASS U.N.O.

PRAGUE 233 - CLASSIC
METRO - 15m WIDE LOTS

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DATE	SCALE	DRAWN BY	PROJECT No.
JUN 2012	1:100 @ A3	C.M	0000
ELEVATIONS			
DESIGN FOR SLOPING SITES ADDRESS			

A02
REV-F



EXTREME CASE CROSS SECTIONAL DIAGRAM

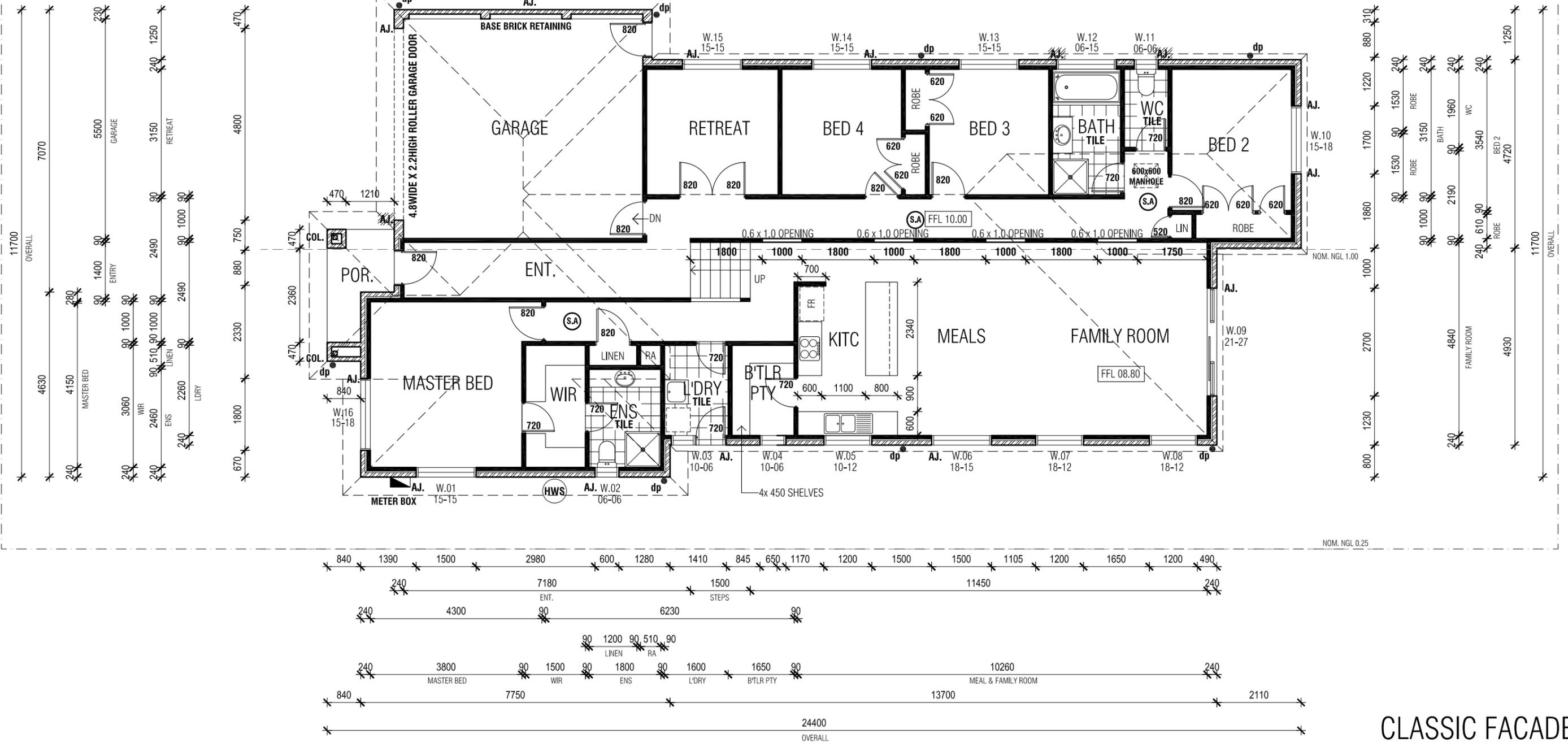
CLASSIC FACADE
DESIGN 3-15M WIDE LOT-SLOPE ACROSS SITE

TURIN 230 - CLASSIC
METRO - 15m WIDE LOTS

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BUILDERS & CONTRACTORS TO VERIFY ALL DIMENSIONS AND
LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.

DATE	SCALE	DRAWN BY	PROJECT No.
JUN 2012	1:100 @ A3	C.M	0000
SECTION			
DESIGN FOR SLOPING SITES ADDRESS			A00 REV-F

INDICATIVE TITLE BOUNDARY



CLASSIC FACADE

DESIGN 3-15M WIDE LOT-SLOPE ACROSS SITE

LEGEND

- dp DOWN PIPE
- FW FLOOR WASTE
- ⊙ EF EXHAUST FAN
- ⊙ SA SMOKE ALARM
- L.O.H LIFT OFF HINGES TO DOOR

TILE

- CP. SELECTED CARPET FLOOR COVERING
- FB. SOLID TIMBER HW FLOORBOARDS.
- AJ. ARTICULATION JOINTS.
- SELECTED TIMBER STUD FRAMING
- BRICK VENEER WALL CONSTRUCTION

AREA SCHEDULE

GROUND FLOOR AREA:	190.4 M ²
GARAGE AREA:	36.0 M ²
PORCH:	4.1 M ²
ALFRESCO:	OPTIONAL EXTRA M ²
TOTAL AREA:	24.8 SQ 230.4 M ²
SITE FALL 1:10 AVG - FALL TO SIDE	

TURIN 230 - CLASSIC

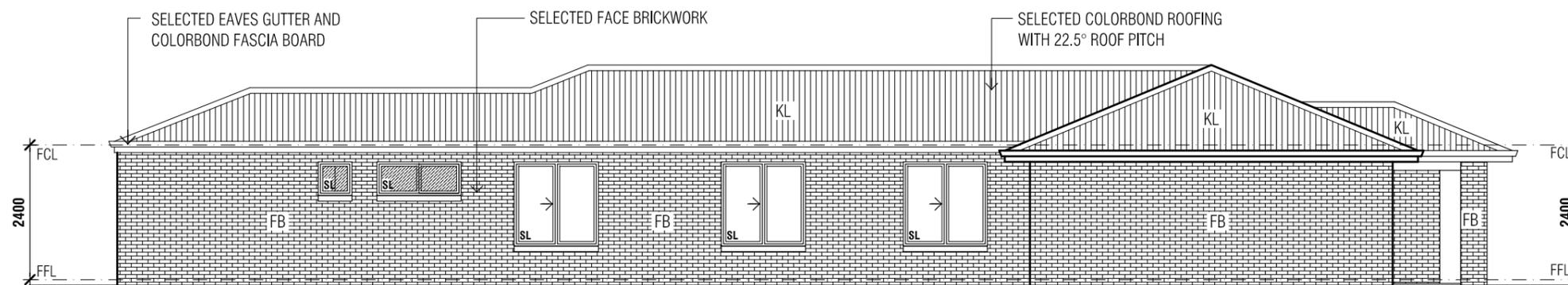
METRO - 15m WIDE LOTS

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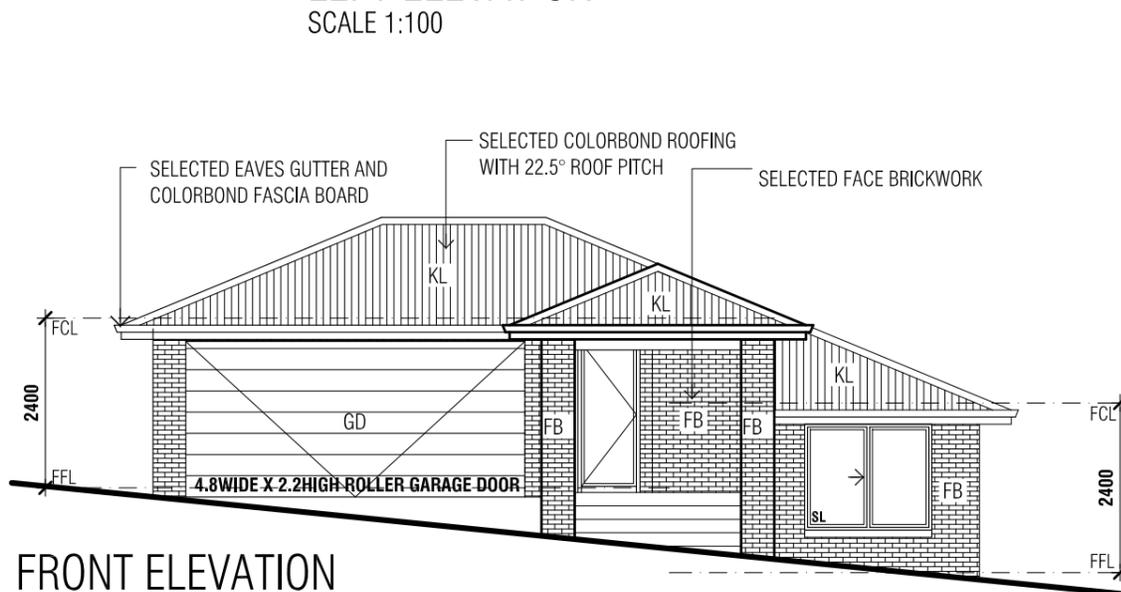
DATE	SCALE	DRAWN BY	PROJECT No.
JUN 2012	1:100 @ A3	C.M	0000
GROUND FLOOR PLAN			
DESIGN FOR SLOPING SITES			A01 REV-F
ADDRESS			



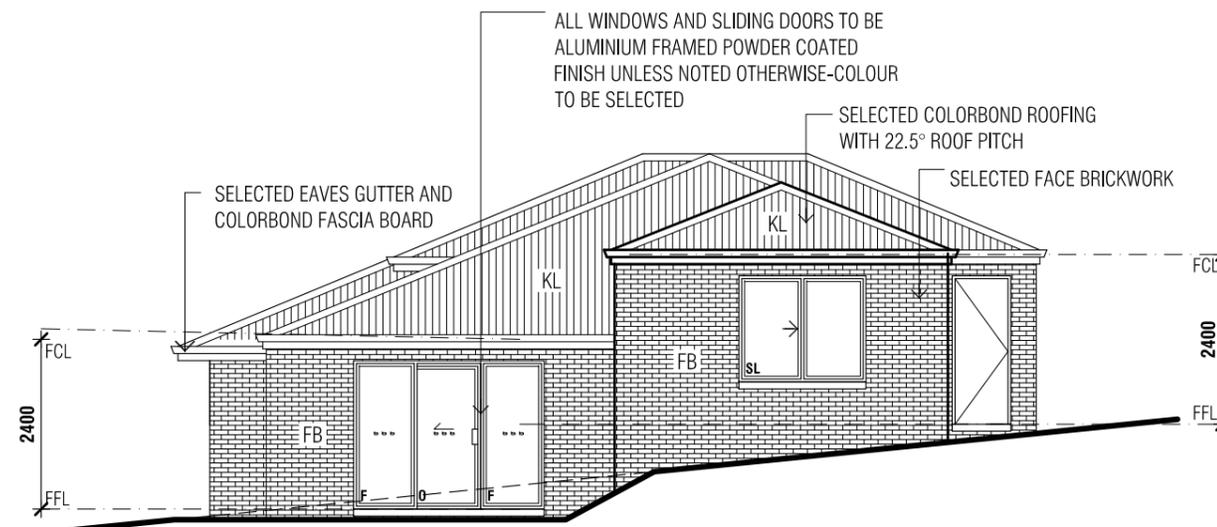
RIGHT ELEVATION
SCALE 1:100



LEFT ELEVATION
SCALE 1:100



FRONT ELEVATION
SCALE 1:100



BACK ELEVATION
SCALE 1:100

CLASSIC FACADE
DESIGN 3-15M WIDE LOT-SLOPE ACROSS SITE

LEGEND

- FB** FACE BRICKWORK
- SR1** SMOOTH CEMENT RENDER FINISH
- KL** COLORBOND ROOFING AT 22.5 DEGREES
- GD** GARAGE DOOR
- OBSCURE GLASS
- COLORBOND GUTTERS, FASCIA & DOWNPIPES:**
- ALU. FRAME WINDOWS IN CLEAR GLASS U.N.O.**

TURIN 230 - CLASSIC

METRO - 15m WIDE LOTS

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DATE	SCALE	DRAWN BY	PROJECT No.
JUN 2012	1:100 @ A3	C.M	0000

ELEVATIONS

DESIGN FOR SLOPING SITES
ADDRESS

A02
REV-F